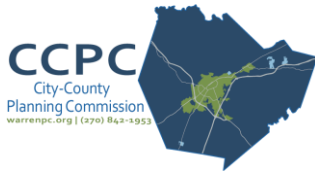


## DETAILED DEVELOPMENT PLAN STAFF REPORT

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**Docket Number:** 2018-04-DP  
**Public Hearing Date:** March 15, 2018  
**Pre-Application Conference:** February 20, 2018

**Description of Request:** The applicant has applied for approval of a Detailed Development Plan on a tract of land totaling 32.64 acres located at 106 Cosma Drive. The plan proposes the construction of a mill shop, truss facility and storage buildings totaling 152,770 square feet with plans to construct two additional buildings for a future expansion of another 81,500 square feet for a total development of 234,270,579 square feet. This property is zoned **HI** (Heavy Industrial) with a general development plan.

**Applicant/ Property Owner:**

Carter Lumber Company  
 Charles Price  
 601 Tallmadge Road  
 Kent, OH 44240

**Location of Property:** 106 Cosma Drive

**PVA Parcel Numbers:** 062A-60-15B      **Current Zoning:** **HI** (Heavy Industrial)

**Property Size:** 32.64 acres      **Existing Land Use:** Agricultural

**Existing Land Use of the Surrounding Area:**

The surrounding area is predominantly comprised of industrial and agricultural land uses. There are single-family residential, multi-family residential, commercial, public and public-institutional uses in the area as well. There are also some vacant tracts in the general vicinity.

**Zoning History:**

**AG** (Agriculture) was the original zoning for the property. The property was rezoned from **AG** (Agriculture) to **HI** (Heavy Industrial) in August, 2003.

## DETAILED DEVELOPMENT PLAN REVIEW

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Sec 3.11.5 of the Zoning Ordinance states the following:

**Detailed Development Plan Required:** Prior to the issuance of building permits, a detailed development plan shall be approved by the Planning Commission for the following:

- **All industrial developments or uses containing over 75,000 sq. ft. in total building area.**
- 

The Applicant has submitted a **Detailed Development Plan** (see attached) to be reviewed for compliance with the following **Binding Elements** recorded in Deed Book 870 Page 668:

1. The Affected Property shall be developed and maintained in accordance with all applicable laws pertaining to landscaping and buffering, including the Zoning Ordinance Sections 4.7.3.D and 4.6.8.D. In addition thereto, the development shall include all the earthen berms, vegetation barriers, screens and open spaces set out on the Property Owner's "Conceptual Site Layout Plan" and "Typical Berm Cross Section" filed herewith as Exhibit "1" and Exhibit "2" to these Binding Elements; provided however, the Conceptual Site Layout Plan is otherwise subject to final engineering and the Property Owner is not otherwise bound by the details thereof. A berm, screening or buffer area may be deleted or reduced at any location on the Conceptual Site Layout Plan if all landowners adjoining that location agree and the above landscaping and buffering provisions with the Zoning Ordinance are complied with.

2. The Affected Property shall be developed with public sanitary sewers, curbs, gutters, bike trails and walking trails as illustrated on the Property Owner's "Typical Main Boulevard Cross Section" filed herewith as Exhibit "3". All new utility lines shall be underground (as permitted by utility company). All application provisions of the ordinances and other laws pertaining to public water and sewer standards and fire control shall be complied with.

3. The development and use on the Affected Property shall be in compliance with all applicable provisions of any law or ordinance regarding noise control (see Bowling Green Ordinance Section 9-3).

4. No use of the Affected Property may have or make products which could be hazardous to human life and property until provisions for the proper control thereof have been made in accordance with all applicable federal, state and local regulations.

5. Loading docks, vehicle use areas, public use areas and outside storage areas shall be screened from adjacent residential developments or from all public streets or in compliance with any presently adopted landscaping ordinance.

6. Only one freestanding sign, excluding directional signs, shall be placed on each developed site. All freestanding signs shall be monument signs no more than 7 feet high with no face more than 100 sq. ft. and shall be landscaped. However, one entrance sign shall be allowed at the entrances off US 68/KY 80 provided that it is a monument style sign no more than 7 feet high.

## DETAILED DEVELOPMENT PLAN REVIEW (Continued)

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7. When located adjacent to a residential area, site lighting shall be directed downward and away from adjacent residential uses and shall be shielded to prevent light trespass or reflection onto adjoining properties. This lighting may be shoebox style or any other style that is architecturally pleasing and minimizes glare and direct light on adjoining property.

8. All sources of malodorous emissions, regardless of how benign, shall be abated as determined and required under all applicable federal, state and local regulations. New sources of malodorous emissions must not be located where they would be inconsistent with applicable federal, state and local regulations.

9. All future lots within this property shall contain at least twenty percent (20%) green space. All parking areas within the tract shall be landscaped and contain at least twenty percent (20%) green space for parking aisles and islands. Paved parking areas shall be set back at least 25 feet from any property line.

10. All public streets and access roads shall be landscaped with trees, shrubs and vegetative ground cover.

11. The Property Owner shall have the responsibility of providing for the installation of all roadway and intersection improvements (as specified in the Traffic Impact Study prepared by Qk4 in July 2003 as pertaining to Phase 2 Development, including traffic lights as illustrated on attached Exhibit 6 entitled "US Highway 68-80 Intersection") as are determined to be needed by the Kentucky Transportation Cabinet ("KTC"); City-County Planning Commission and City of Bowling Green. In addition, these improvements shall include a second westbound right turn lane at US 31 W / McGinnis Quarry Road intersection and a second northbound left turn lane at proposed entrance to the tract onto US 68/KY 80 and any improvements to Hays-Martin Road.

12. Special storm water drainage techniques shall be provided on each lot throughout the Affected Property as illustrated on the Property Owner's "Conceptual Storm Water Management System" filed herewith as "Exhibit 4" as defined in the "Site Evaluation and Design Assistance for the proposed Kentucky Tri-Modal Transpark - Final Report" dated February 28, 2003 prepared by WKU Center for Cave and Karst Studies, or by such superior methods as may be identified through the use of best practices and reviewed by the Executive Director of the City-County Planning Commission.

13. The following uses shall not be permitted and are prohibited on the Affected Property even though they may otherwise be permitted uses under the Zoning Ordinance: mining; quarrying; sanitary landfill; construction and demolition debris landfill; waste composting energy recovery plant; hazardous waste collection site; solid waste transfer station; sewage treatment plant; slaughter house; concrete batching and asphalt mixing; tannery; live animal or poultry sales; adult entertainment; confined poultry or animal feeding operation; or land farming.

14. No principal building shall be located within 150 feet of a residential use and no accessory building shall be located within 100 feet of a residential use.

15. Before any development on the Affected Property occurs, all materials and debris identified in the Environmental Assessments dated July 24, 2003 performed by EnSafe must be mitigated and disposed of properly in an approved landfill according to applicable laws.

## DETAILED DEVELOPMENT PLAN REVIEW (Continued)

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16. Microgravity analysis, electric resistivity, high impact compaction, subterranean boring or other methods as defined in the "Site Evaluation and Design Assistance for the proposed Kentucky Tri-Modal Transpark - Final Report" dated February 28, 2003 prepared by the WKU Center for Cave and Karst Studies, shall be used with the development of roads, improved drainage basins and buildings within the Affected Property.

17. The existing cemetery located on the property shall be either properly screened and maintained by the owner or properly relocated as required by the State of Kentucky.

18. Binding Elements 4 and 8 shall become plat restrictions upon the recording of any plat.

## STAFF REVIEW

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This plan was reviewed based on the **HI** (Heavy Industrial) zone and Binding Elements as follows:

	<b><u>Allowed / Required</u></b>	<b><u>Provided</u></b>
<b><u>Lot Coverage:</u></b>	80 % (Binding Elements)	71.08 %
<b><u>Setbacks:</u></b>	Front: 50' (plat) – Cosma Drive	81'
	Side: 0' (North)	10'
	Side: 0' (Southwest)	184.1'
	Rear: 0' (South)	25'
<b><u>Parking:</u></b>	80 spaces (1 space/employee max. shift)	87 spaces
<b><u>Building Height:</u></b>	100'	25'
<b><u>Landscaping:</u></b>	The landscaping plan submitted meets the requirements of the Zoning Ordinance and the Binding Elements and is approved.	
<b><u>Signage:</u></b>	Only one freestanding sign, excluding directional signs, shall be placed on each developed site. All freestanding signs shall be monument signs no more than seven (7) feet high with no face with more than 100 sq. ft. and shall be landscaped. (Binding Element number 6)	
<b><u>Drainage:</u></b>	The drainage plan will be reviewed by the City of Bowling Green Public Works Department and final approval will be required, prior to the issuance of a building permit.	
<b><u>Traffic:</u></b>	A Traffic Impact Study (TIS) was not required to be submitted with this Detailed Development Plan application.	
<b><u>Access:</u></b>	The development has one (1) proposed access point onto Cosma Drive. The proposed access point has been reviewed and approved by the City of Bowling Green Public Works Department.	



## STAFF REVIEW

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The applicant has submitted a Detailed Development Plan to construct a mill shop, truss facility and storage buildings totaling 152,770 square feet with plans to construct two additional buildings for a future expansion of another 81,500 square feet for a total development of 234,270 square feet. The proposed development plan meets the requirements of the Zoning Ordinance and the Binding Elements, except for the suggested conditions of approval listed below.

## SUGGESTED CONDITIONS OF APPROVAL

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- 1) The drainage plan will be reviewed by the City of Bowling Green Public Works Department and final approval will be required, prior to the issuance of a building permit;
- 2) Plat must be recorded revising the existing utility and drainage easements and removing the existing platted building setback, prior to the issuance of a building permit.

## MOTIONS

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### MOTION TO APPROVE:

I make the motion to **approve** the Detailed Development Plan, Docket number **2018-04-DP** subject to the following conditions:

- 1) The drainage plan will be reviewed by the City of Bowling Green Public Works Department and final approval will be required, prior to the issuance of a building permit;
- 2) Plat must be recorded revising the existing utility and drainage easements and removing the existing platted building setback, prior to the issuance of a building permit.

My motion is based upon the Detailed Development Plan's compliance with Section 3.11.6 of the Warren County Zoning Ordinance.

**OR**

### MOTION TO DENY:

I make the motion to **deny** the Detailed Development Plan, Docket number **2018-04-DP**. My motion is based upon the Detailed Development Plan's failure to meet the requirements of Section 3.11.6 of the Warren County Zoning Ordinance as follows:

I further request that the staff transmit a written notice to the applicant within 10 days of this action detailing the reasons for denial.

DETAILED DEVELOPMENT PLAN  
FOR  
CARTER LUMBER COMPANY  
KENTUCKY TRANSPARK, LOT 15-2  
106 Cosma Drive  
BOWLING GREEN, KY 42101  
FEBRUARY 15, 2018  
REVISED MARCH 6, 2018



DRAWING INDEX

COVER SHEET	
CIVIL	
C1	EXISTING TOPOGRAPHY
C2.0	OVERALL SITE LAYOUT
C2.1	SITE LAYOUT ENLARGED
C2.2	SITE LAYOUT ENLARGED
C3.1	SITE GRADING AND DRAINAGE ENLARGED
C3.2	SITE GRADING AND DRAINAGE ENLARGED
C4.1	PRE - EROSION & SEDIMENT CONTROL ENLARGED
C4.2	PRE - EROSION & SEDIMENT CONTROL ENLARGED
C4.3	POST DEVELOPMENT EROSION CONTROL ENLARGED
C4.4	POST DEVELOPMENT EROSION CONTROL ENLARGED
C5	WATER & SEWER PLAN
C6	ELECTRIC, TELEPHONE, & GAS
C7	SITE DETAILS
C8	SITE DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN ENLARGEMENT
L1.2	LANDSCAPE PLAN ENLARGEMENT
L1.3	LANDSCAPE PLAN ENLARGEMENT
SL1	SITE LIGHTING PLAN
A3.0	TRUSS BUILDING ELEVATIONS
A3.1	MILL FABRICATION BUILDING ELEVATIONS

DEVELOPER:

CARTER LUMBER  
601 TALLMADGE ROAD  
KENT, OHIO 44240  
CONTACT: CHARLES PRICE  
TELEPHONE: 330-221-6249

PARCEL OWNER:

CARTER LUMBER COMPANY  
601 TALLMADGE ROAD  
KENT, OHIO 44240  
CONTACT: CHARLES PRICE  
TELEPHONE: 330-673-6100 (EXT. 270)

CIVIL ENGINEER/  
SURVEYOR/LANDSCAPE  
ARCHITECT:

ARNOLD CONSULTING  
ENGINEERING SERVICES, INC.  
PO BOX 1338  
BOWLING GREEN, KY 42101  
CONTACT: AARON ARNOLD  
TELEPHONE: 270-780-9445

ARCHITECT:

SEWELL & SEWELL ARCHITECTS  
996 WILKINSON TRACE,  
SUITE B4  
BOWLING GREEN, KY 42103  
CONTACT: NICK SEWELL  
TELEPHONE: 270-904-3388

UTILITY COMPANIES/ GOVERNMENT OFFICIALS

PLANNING COMMISSION:  
CITY-COUNTY PLANNING COMMISSION  
1141 STATE STREET  
BOWLING GREEN, KY 42101  
CONTACT: MR. STEVE MCWHORTER  
TELEPHONE: (270)842-1953

WATER & SEWER:  
WARREN COUNTY WATER DISTRICT  
523 US-31W BYPASS  
BOWLING GREEN, KY 42101  
CONTACT: TIM MINNICKS  
TELEPHONE: (270) 842-0052

ELECTRICITY:  
WARREN RECC  
951 FAIRVIEW AVENUE  
BOWLING GREEN, KY 42101  
CONTACT: JONATHAN LINDSEY  
TELEPHONE: (270) 842-5214

TELEPHONE:  
AT&T  
1061 LOVERS LANE  
BOWLING GREEN, KY 42103  
CONTACT: BUZZ COLBURN  
TELEPHONE: (270)782-4811

BUILDING INSPECTIONS:  
CITY OF BOWLING GREEN  
BUILDING & INSPECTION DIVISION  
707 E. MAIN AVE.  
BOWLING GREEN, KY 42101  
CONTACT: JEREMY SEGUR  
TELEPHONE: (270) 393-3615

CITY ENGINEER:  
BOWLING GREEN CITY PUBLIC WORKS  
1011 COLLEGE STREET  
BOWLING GREEN, KY 42101  
CONTACT: MELISSA CANSLER, P.E.  
TELEPHONE: (270)393-3657

GAS:  
ATMOS ENERGY  
2850 RUSSELLVILLE ROAD  
BOWLING GREEN, KY 42101  
CONTACT: BYRON OOST  
TELEPHONE: (270)901-1710

CABLE:  
SPECTRUM COMMUNICATIONS  
515 DOUBLE SPRINGS RD.  
BOWLING GREEN, KY 42103  
CONTACT: AMY WILLIAMS  
TELEPHONE: (520) 357-4710



ARNOLD CONSULTING  
ENGINEERING SERVICES  
P.O. BOX 1338 BOWLING GREEN KY, 42101  
PHONE (270) 780-9445





**GPS NOTE**

THE SURVEY SHOWN HEREON IS BASED ON GPS DATA COLLECTED BY ACES USING BOTH STATIC AND RTK METHODS WITH DUAL FREQUENCY TOPCON HIPER GA (GGD) RECEIVERS. THE ENTIRETY OF THE DATA COLLECTED FOR THIS SURVEY WAS DONE SO THROUGH GPS MEANS WHEN ACCEPTABLE, AND BY CONVENTIONAL MEANS, FROM GPS CONTROL POINTS, WHEN NECESSARY. RTK DATA WAS COLLECTED FOR ANY SITE FEATURES AND ALL CONTROL POINTS AND BOUNDARY INFORMATION WAS COLLECTED IN STATIC MODE WITH A RMMS OF 0.02" OR LESS. VECTORS AND/OR BASELINES HAVE BEEN CHECKED THROUGH STATIC OBSERVATIONS.

**FLOODPLAIN INFORMATION**

THE PROPERTY SHOWN HEREON LIES IN A NON-FLOOD PRONE COMMUNITY PER (FIRM) FLOOD INSURANCE RATE MAP FOR WARREN COUNTY, KENTUCKY. SAID AREA IS SHOWN ON MAP #2122C70200E. SAID PANEL IS NOT A PRINTED PANEL.

**PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE**

CARTER LUMBER COMPANY  
601 TALLMADGE ROAD  
KENT, OHIO 44240  
DB 1149 PG 524  
PB 41 PG 224-226

**BENCHMARK DATA:**

- BENCHMARK 1  
3" IRON PIN W/ 1" PLASTIC CAP STAMPED  
"J. ARNOLD PLS 2934" LOCATED IN THE  
NORTH WEST CORNER OF THE SUBJECT  
PROPERTY APPROX. 78.30' FROM EX.  
STORM MANHOLE  
ELEV: 550.65
- BENCHMARK 2  
3" KYTC ALUMINUM CAP MONUMENT  
STAMPED W/ OUTLINE OF KENTUCKY  
LOCATED IN THE SOUTH EAST CORNER  
OF THE SUBJECT PROPERTY APPROX.  
4.76' FROM EX. FENCE CORNER  
ELEV: 551.42



**SURVEYOR'S CERTIFICATE**

I DO HEREBY CERTIFY THAT THE URBAN SURVEY SHOWN HEREON WAS PERFORMED UNDER MY DIRECTION USING APPROPRIATE G.P.S. METHODS FOR MEASURING RECOVERED MONUMENTS AND ESTABLISHING SURVEY CONTROL AND/OR BY THE METHOD OF RANDOM TRAVERSE. CONVENTIONAL METHODS OF REDUNDANCY WERE EMPLOYED TO ENSURE THE QUALITY OF THE GPS DATA. THE UNADJUSTED MATHEMATICAL ERROR OF CLOSURE OF THE TRAVERSE AND THE THEORETICAL UNCERTAINTY OF THE CORNERS ESTABLISHED EXCEEDED THE SPECIFIED TOLERANCES SET FORTH BY THE COMMONWEALTH OF KENTUCKY. STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS FOR A SURVEY OF THIS CLASS IN 201 KAR 18:150. THE BEARINGS AND DISTANCES SHOWN HEREON HAVE NOT BEEN ADJUSTED FOR CLOSURE AND ARE BASED ON GRID NORTH AS ESTABLISHED BY KY STATE PLANE COORDINATES (SOUTH ZONE 1602, GEOID 12), TAKEN FROM STATIC GPS OBSERVATION.

CHARLES B. HESTER PLS 4147  
DATE 3/6/18

**DRAINAGE EASEMENT LINE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
DE1	N 64°50'06" E	19.13'	DE14	N 73°37'38" W	25.01'
DE2	S 81°40'32" E	43.96'	DE15	S 79°04'29" W	34.38'
DE3	N 34°49'47" E	25.77'	DE16	S 68°34'56" W	70.78'
DE4	N 10°49'03" E	37.84'	DE17	S 75°17'59" W	53.05'
DE5	N 14°18'18" W	34.68'	DE18	S 85°44'54" W	63.60'
DE6	N 01°45'26" E	82.46'	DE19	N 82°01'08" W	54.84'
DE7	N 69°47'32" E	91.79'	DE20	S 70°31'57" W	33.98'
DE8	N 62°17'02" E	28.32'	DE21	S 54°44'55" W	40.43'
DE9	N 52°47'57" E	40.03'	DE22	S 12°54'26" W	52.63'
DE10	N 30°53'58" E	36.67'	DE23	S 06°56'12" E	35.80'
DE11	N 05°36'21" E	32.54'	DE24	S 41°52'25" E	53.09'
DE12	N 17°04'29" W	30.27'	DE25	S 14°18'43" W	58.24'
DE13	N 48°05'17" W	58.24'	DE26	N 89°35'25" W	391.52'
			DE27	N 00°00'00" W	154.00'

**BOUNDARY LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 35°28'56" W	33.51'
L2	N 69°32'59" W	126.45'
L3	N 24°49'01" W	15.94'
L4	N 20°34'02" E	59.97'
L5	N 24°24'51" W	26.84'
L6	N 69°34'25" W	112.36'
L7	N 12°23'38" W	118.74'
L8	S 65°46'29" E	29.52'
L9	N 46°33'36" E	39.30'
L10	N 21°17'11" W	57.40'
L11	N 20°56'08" W	55.05'

**BOUNDARY CURVE TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	296.86'	251.90'	67°31'16"	N 80°16'13" E	279.97'
C2	287.57'	244.00'	67°31'37"	N 12°46'49" E	271.21'

CLASS "A" SURVEY  
URBAN OR SUBURBAN  
DATE OF FIELD SURVEY  
AUGUST 21, 2017

TOTAL AREA OF SURVEY  
1,421.653 ± SQ. FT.  
32.64 ± ACRES

**GENERAL NOTES**

1. THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE BASED ON THE FIELD LOCATION OF FOUND VISIBLE STRUCTURES OR AS FLAGGED OR MARKED BY THEIR RESPECTIVE UTILITY COMPANIES. THERE MAY BE OTHER UNDERGROUND UTILITIES LOCATED ON THE PROPERTY SHOWN HEREON. NO GUARANTEE IS EXPRESSED OR IMPLIED TO THE ACTUAL LOCATION OF SAID UTILITIES.
2. THE PROPERTY SHOWN HEREON IS SUBJECT TO: ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON; ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
3. A BOUNDARY SURVEY DOES NOT DETERMINE LAND OWNERSHIP. A PROFESSIONAL LAND SURVEYOR ONLY PROVIDES AN OPINION OF PREVIOUSLY DESCRIBED BOUNDARY LINES WHICH MAY OR MAY NOT BE UPHOLD BY A COURT OF LAW. UNWRITTEN RIGHTS MAY OR MAY NOT EXIST ON SUBJECT PROPERTY.
4. THE PROPERTY SHOWN HEREON IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON.
5. ALL IRON PINS SET ARE 1/2" X 18" PINS SET WITH 1" YELLOW PLASTIC CAP STAMPED "B. HESTER PLS 4147" UNLESS OTHERWISE NOTED.
6. THE DATUM FOR THIS SURVEY IS GRID NORTH AS ESTABLISHED BY KENTUCKY STATE PLANE COORDINATES, SOUTH ZONE 1602. THE VERTICAL DATUM FOR THIS SURVEY IS NAVD 88 AS OBTAINED FROM STATIC OPUS OBSERVATION.

**LEGEND**

- 3" KYTC ALUMINUM CAP MONUMENT STAMPED W/ OUTLINE OF KENTUCKY FOUND
- 5/8" IRON PIN W/ 1 1/4" PLASTIC CAP STAMPED "BOWMAN PLS 1804" FOUND UNLESS NOTED
- 1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "J. ARNOLD PLS 2934" FOUND UNLESS NOTED
- IRON PIN SET
- CONCRETE R/W MONUMENT
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- ANCHOR
- UTILITY POLE
- SIGNAL POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- GAS METER
- TELEPHONE PEDESTAL
- STORM SEWER MANHOLE
- DROP BOX INLET
- CURB BOX INLET
- PIPE BOLLARD
- GUTTER OUTLET
- ROAD SIGN
- TREE
- MAILBOX
- LAMP POLE
- BSBL BUILDING SET BACK LINE
- ESOL EACH SIDE OF LINE
- PUE PUBLIC UTILITY EASEMENT
- FFE FINISHED FLOOR ELEVATION

- PROPERTY LINE
- SETBACK LINE
- EASEMENTS
- LOT LINE TO BE ABANDONED
- CENTERLINE
- UNDERGROUND ELECTRIC
- GAS LINE
- OVERHEAD UTILITIES
- BURIED TELEPHONE
- SANITARY SEWER LINE
- WATER LINE
- STORM SEWER LINE
- FENCE LINE
- DRAINAGE ESMT.
- EASEMENT TO BE ABANDONED



**CARTER LUMBER**  
106 COSMA DRIVE  
BOWLING GREEN, KY 42101

**ACES**  
ARNOLD CONSULTING  
ENGINEERING SERVICES, INC.  
P.O. BOX 1338  
BOWLING GREEN, KY 42101  
PHONE (270) 780-9445

JOB NUMBER: 17-3159-L  
DATE: 03/06/2018  
SCALE: 1" = 100'  
DRAWN: J. HOGUE  
CHECKED: J. ARNOLD  
FILE PATH:  
Z:\SITE\DEV\1-EXISTING CONDITIONS

STATE OF KENTUCKY  
CHARLES B. HESTER  
4147  
LICENSED  
PROFESSIONAL  
LAND SURVEYOR

**C1**  
EXISTING  
TOPOGRAPHY



REVISIONS

CARTER LUMBER  
106 COSMA DRIVE  
BOWLING GREEN, KY 42101

ACFS  
ARNOLD CONSULTING  
ENGINEERING SERVICES, INC.  
P.O. BOX 1338  
BOWLING GREEN, KY 42101  
PHONE (270) 760-9445

JOB NUMBER: 17-3159-L  
DATE: 03/06/2018  
SCALE: 1" = 100'  
DRAWN: B. McDANIEL  
CHECKED: A. ARNOLD  
FILE PATH:  
Z:\SITE\DEVIC2.0 - Overall Site Layout



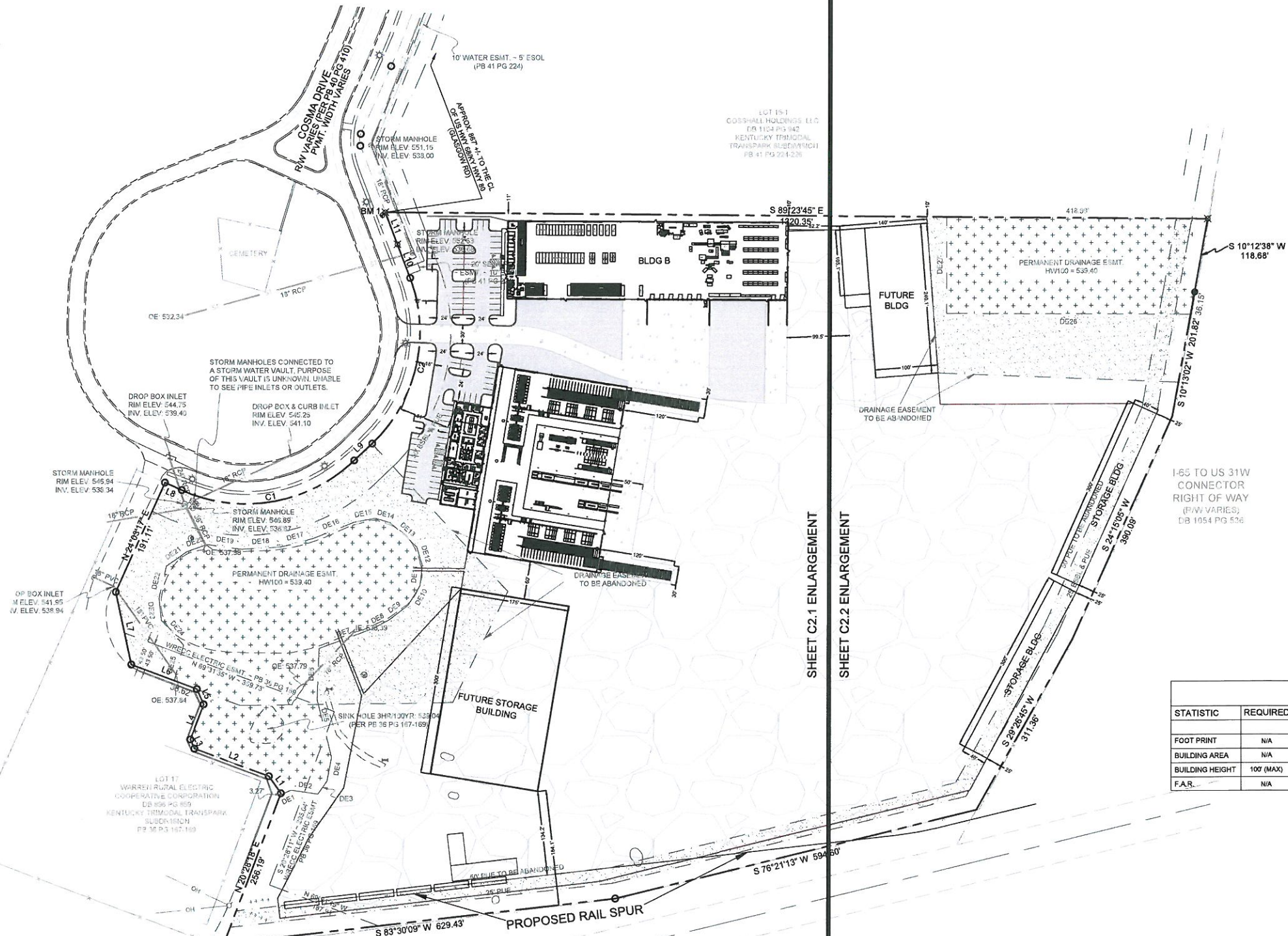
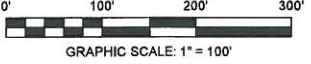
C2.0  
OVERALL SITE  
LAYOUT

GENERAL NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
2. NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
3. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
7. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
8. ALL CURB DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
9. SIDEWALK AND HANDICAP ACCESS SHALL COMPLY WITH LATEST ADA REGULATIONS.
10. ALL PARKING SPACES ARE 9' x 18' UNLESS OTHERWISE NOTED.
11. HANDICAPPED RAMPS ARE TO BE CONSTRUCTED IN ALL INCIDENTS IN WHICH A SIDEWALK TERMINATES INTO A VEHICULAR TRAVEL WAY.
12. ALL SINKHOLES ARE TO BE EVALUATED BY A THIRD PARTY CONTRACTOR OF THE BOWLING GREEN ECONOMIC DEVELOPMENT AUTHORITY AND REMEDIATION PRICING WILL BE BASED ON THEIR RECOMMENDATION. SEE TYPICAL SINKHOLE REPAIR DETAIL ON SHEETS C3.1 & C3.2.

DEVELOPMENT SUMMARY		
STATISTIC	PERMITTED / REQUIREMENT	PROVIDED
CURRENT ZONING	HI WITH B.E. - HEAVY INDUSTRIAL	HI WITH B.E. - HEAVY INDUSTRIAL
PROPOSED USE	MANUFACTURING	MANUFACTURING/STORAGE
TOTAL SITE AREA	MIN. LOT AREA = 0.12 +/- AC. MIN. LOT AREA = 5,000 +/- S.F.	32.64 +/- AC. 1,421,853 +/- S.F.
LOT COVERAGE	80% MAX LOT COVERAGE	1,010,503 +/- S.F. (71.08%) 23.20 +/- AC. (71.08%)
BUILDING SETBACKS	FRONT 25' (COSMA DRIVE) SIDE 0' (NORTH) SIDE 0' (SOUTHWEST) REAR 0' (EAST)	FRONT 81' (COSMA DRIVE) SIDE 10' (NORTH) SIDE 164.1' (SOUTHWEST) REAR 25' (EAST)
TOTAL PARKING	1 SPACE PER EMPLOYEE MAX. SHIFT 80 EMPLOYEES MAX. SHIFT = 80 SPACES REQUIRED	82 STANDARD SPACES PROVIDED 5 ADA SPACES PROVIDED 87 SPACES TOTAL
LANDSCAPE PLAN	REQUIRED	SEE SHEET L1
VEHICLE USE AREA	N/A	40,207.53 +/- SQ. FT. (0.92 ACRES)
INTERIOR LANDSCAPE AREA %	REQUIRED	SEE SHEET L1
DRAINAGE PLAN	REQUIRED	SEE SHEET C3
TRAFFIC STUDY	N/A	N/A
SITE ACCESS	PER CITY OF BOWLING GREEN	ONE ACCESS POINT LOCATED ON COSMA DRIVE

BUILDING SUMMARY		PROVIDED						
STATISTIC	REQUIRED	BLDG A	BLDG B	STORAGE BLDG #1	STORAGE BLDG #2	FUTURE STORAGE BLDG	FUTURE BLDG	TOTAL
FOOT PRINT	N/A	72,376 +/- S.F.	56,394 +/- S.F.	12,000 +/- S.F.	12,000 +/- S.F.	52,500 +/- S.F.	29,000 +/- S.F.	234,270 +/- S.F.
BUILDING AREA	N/A	72,376 +/- S.F.	56,394 +/- S.F.	12,000 +/- S.F.	12,000 +/- S.F.	52,500 +/- S.F.	29,000 +/- S.F.	234,270 +/- S.F.
BUILDING HEIGHT	100' (MAX)	25'	25'	25'	25'	25'	25'	25'
F.A.R.	N/A	0.051	0.04	0.008	0.008	0.037	0.02	0.164



SHEET C2.1 ENLARGEMENT  
SHEET C2.2 ENLARGEMENT



GENERAL NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
2. NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
3. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
7. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
8. ALL CURB DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
9. SIDEWALK AND HANDICAP ACCESS SHALL COMPLY WITH LATEST ADA REGULATIONS.
10. ALL PARKING SPACES ARE 9' x 18' UNLESS OTHERWISE NOTED.
11. HANDICAPPED RAMP ARE TO BE CONSTRUCTED IN ALL INCIDENTS IN WHICH A SIDEWALK TERMINATES INTO A VEHICULAR TRAVEL WAY.
12. ALL SINKHOLES ARE TO BE EVALUATED BY A THIRD PARTY CONTRACTOR OF THE BOWLING GREEN ECONOMIC DEVELOPMENT AUTHORITY AND REMEDIATION PRICING WILL BE BASED ON THEIR RECOMMENDATION. SEE TYPICAL SINKHOLE REPAIR DETAIL ON SHEETS C3.1 & C3.2.

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BOWLING GREEN, KY 42101  
PHONE (270) 780-9445

JOB NUMBER: 17-3159-L  
DATE: 03/06/2018  
SCALE: 1" = 60'  
DRAWN: B. McDANIEL  
CHECKED: A. ARNOLD  
FILE PATH:  
Z:\SITE\DEV\2.1-SITE LAYOUT



C2.1  
SITE LAYOUT  
ENLARGEMENT

CONSTRUCTION LEGEND

	HEAVY DUTY ASPHALT PAVEMENT		HANDICAP PARKING SIGN
	LIGHT DUTY ASPHALT PAVEMENT		HANDICAP PARKING SIGN (VAN ACCESSIBLE)
	HEAVY DUTY CONCRETE PAVEMENT		HANDICAP SYMBOL
	GRAVEL PAVEMENT		HANDICAP RAMP
	SIDEWALK WITH TURNDOWN EDGE		WHEEL STOP
	STANDARD CURB AND GUTTER		HEADER CURB



SHEET C2.1 ENLARGEMENT

BENCHMARK DATA:

- BENCHMARK 1  
1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "J. ARNOLD PLS 2934" LOCATED IN THE NORTH WEST CORNER OF THE SUBJECT PROPERTY APPROX. 78.30' FROM EX. STORM MANHOLE ELEV: 550.65
- BENCHMARK 2  
3" KYTC ALUMINUM CAP MONUMENT STAMPED W/ OUTLINE OF KENTUCKY LOCATED IN THE SOUTH EAST CORNER OF THE SUBJECT PROPERTY APPROX. 4.76' FROM EX. FENCE CORNER ELEV: 551.42



17  
AL ELECTRIC CORPORATION  
PG 859  
DAL TRANSPARK  
VISION  
167-169

S 83°30'09" W 629.43'

S 76°21'13" W 594.60'

PROPOSED RAIL SPUR

FUTURE STORAGE BUILDING

BLDG B

FUTL BLC

CEMETERY



GENERAL NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
2. NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
3. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
4. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
7. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
8. ALL CURB DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
9. SIDEWALK AND HANDICAP ACCESS SHALL COMPLY WITH LATEST ADA REGULATIONS.
10. ALL PARKING SPACES ARE 9' x 18' UNLESS OTHERWISE NOTED.
11. HANDICAPPED RAMPS ARE TO BE CONSTRUCTED IN ALL INCIDENTS IN WHICH A SIDEWALK TERMINATES INTO A VEHICULAR TRAVEL WAY.
12. ALL SINKHOLES ARE TO BE EVALUATED BY A THIRD PARTY CONTRACTOR OF THE BOWLING GREEN ECONOMIC DEVELOPMENT AUTHORITY AND REMEDIATION PRICING WILL BE BASED ON THEIR RECOMMENDATION. SEE TYPICAL SINKHOLE REPAIR DETAIL ON SHEETS C3.1 & C3.2.

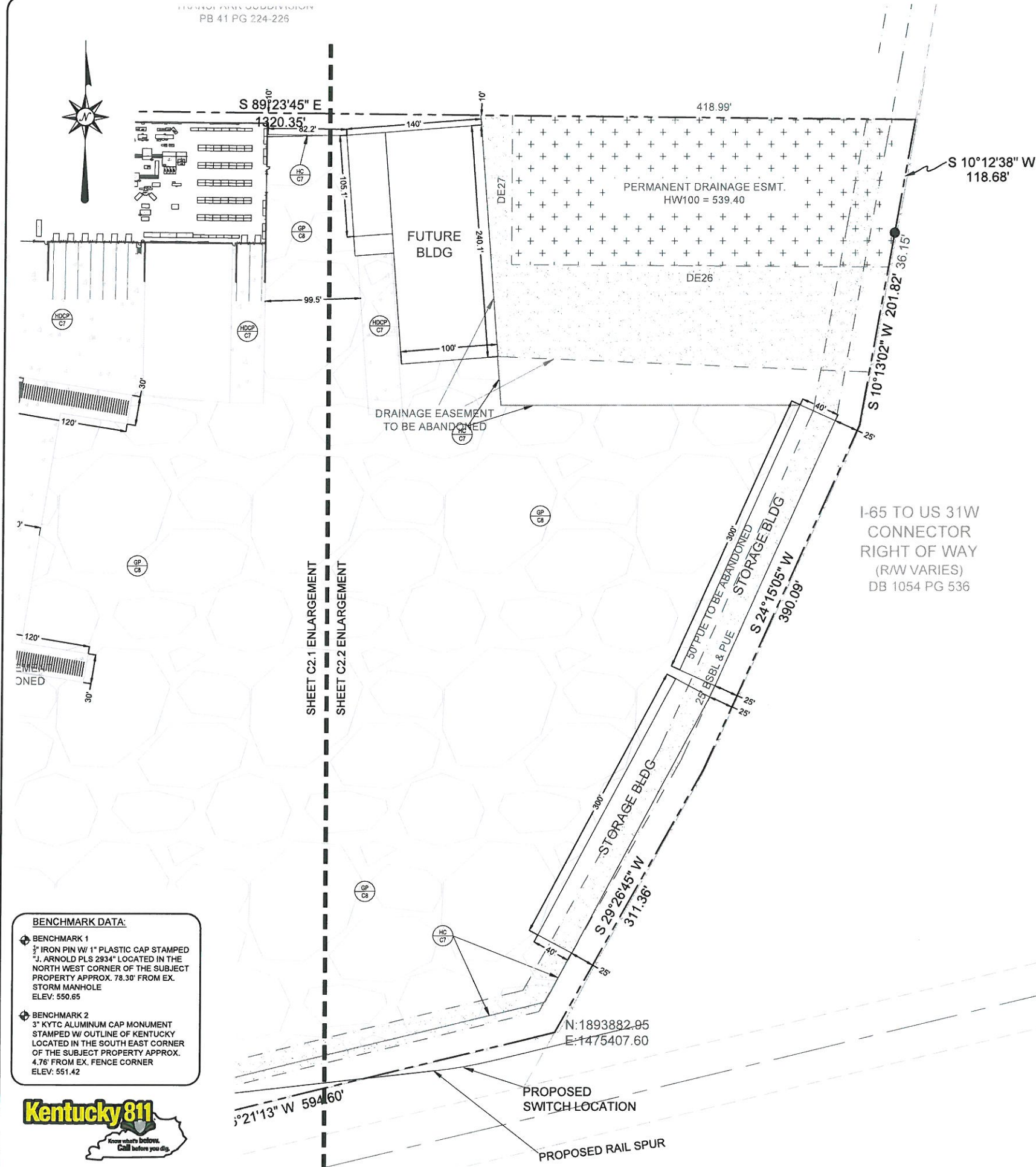
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106 COSMA DRIVE  
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JOB NUMBER: 17-3159 -L  
DATE: 03/6/2018  
SCALE: 1" = 60'  
DRAWN: B. McDANIEL  
CHECKED: A. ARNOLD  
FILE PATH:  
Z:\SITE\DEV\22-Site Layout Enlarge...



C2.2  
SITE LAYOUT  
ENLARGEMENT



**BENCHMARK DATA:**

**BENCHMARK 1**  
3/4" IRON PIN W/ 1" PLASTIC CAP STAMPED "J. ARNOLD PLS 2934" LOCATED IN THE NORTH WEST CORNER OF THE SUBJECT PROPERTY APPROX. 78.30' FROM EX. STORM MANHOLE  
ELEV: 550.65

**BENCHMARK 2**  
3" KYTC ALUMINUM CAP MONUMENT STAMPED W/ OUTLINE OF KENTUCKY LOCATED IN THE SOUTH EAST CORNER OF THE SUBJECT PROPERTY APPROX. 4.76' FROM EX. FENCE CORNER  
ELEV: 551.42



CONSTRUCTION LEGEND

- HDAP C7 - HEAVY DUTY ASPHALT PAVEMENT
- GP C7 - GRAVEL PAVEMENT
- HDCCP C7 - HEAVY DUTY CONCRETE PAVEMENT
- HC C7 - HEADER CURB





- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY BUD AT 1-800-752-6007 48 HOURS PRIOR TO EXCAVATION.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
- SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
- FILL, INCLUDING FINAL TOPSOIL SHALL BE PLACED A MINIMUM OF 3 INCHES BELOW FFE AT BUILDING SLABS UNLESS OTHERWISE INDICATED BY ARCHITECTURAL WALL SECTION DETAILS.
- GRADES WITHIN 10' OF BUILDING SHALL HAVE A MINIMUM SLOPE OF 2% AWAY FROM THE BUILDING.
- ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
- ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS (PROPOSED AND FUTURE EXPANSION) AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
- STONE BASES SHOULD BE COMPACTED TO A DENSITY SATISFACTORY TO ENGINEER, TYPICALLY 84% OF SOLID VOLUME OR BY TEST STRIP METHODS.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE.
- GRADE LINES SHOWN ARE FINISHED GRADE. CONTRACTOR SHOULD SEE DETAIL SHEET FOR APPROPRIATE PAVEMENT TYPE TO DETERMINE SUB-GRADE ELEVATIONS FOR PAVING AREAS.
- CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:  
A) NO WATER WILL POND AT POINTS WHERE LANDSCAPE ISLANDS EXTEND INTO PARKING FIELDS.  
B) SPACES DESIGNATED FOR HANDICAP PARKING AND ACCESS AISLE SHALL HAVE A FINAL SLOPE AFTER PAVING IS COMPLETED OF NOT MORE THAN 2.0%. IF EITHER OF THESE ITEMS ARE NOT CONSTRUCTED AS OUTLINED ABOVE, REWORK WILL BE PROVIDED BY THE CONTRACTOR TO CORRECT DEFICIENCIES AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL VERIFY POSITIVE FLOW FOR ALL STORM SEWER SYSTEMS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG GUTTER LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.
- ALL SINKHOLES ARE TO BE EVALUATED BY A THIRD PARTY CONTRACTOR OF THE BOWLING GREEN ECONOMIC DEVELOPMENT AUTHORITY AND REMEDIATION PRICING WILL BE BASED ON THEIR RECOMMENDATION. SEE TYPICAL SINKHOLE REPAIR DETAIL ON THIS SHEET.

CONSTRUCTION LEGEND

- DBI DROP BOX INLET N.T.S.
- HW SLOPED AND FLARED HEADWALL N.T.S.
- CF CONCRETE FLUME N.T.S.
- CC CURB CUT N.T.S.
- RCD ROCK CHECK DAM N.T.S.
- TD TRENCH DRAIN N.T.S.

STORM WATER RUNOFF & WATER QUALITY CALCULATIONS	
PRE-DEVELOPED	
TOTAL AREA (A) = 32.64 ACRES	
AREA OF IMPERVIOUS (AI) = 0.00 ACRES	
AREA OF PERVIOUS (AP) = 32.64 ACRES	
CI = 0.95 Cp = 0.25	
WT. "C" = $\frac{(AI \cdot CI) + (AP \cdot Cp)}{AI}$ = $\frac{(0.00 \cdot 0.95) + (32.64 \cdot 0.25)}{32.64}$ = 0.25	
POST-DEVELOPED (TOTAL DEVELOPMENT)	
TOTAL AREA (A) = 32.64 ACRES	
AREA OF IMPERVIOUS (AI) = 23.20 ACRES	
AREA OF PERVIOUS (AP) = 9.44 ACRES	
CI = 0.95 Cp = 0.25	
WT. "C" (TOTAL) = $\frac{(AI \cdot CI) + (AP \cdot Cp)}{AI}$ = $\frac{(23.20 \cdot 0.95) + (9.44 \cdot 0.25)}{32.64}$ = 0.453	

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JOB NUMBER: 17-3159-L  
DATE: 03/06/2018  
SCALE: 1" = 60'  
DRAWN: B. McDANIEL  
CHECKED: A. ARNOLD  
FILE PATH:  
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C3.1  
SITE GRADING &  
DRAINAGE

Line ID	Length (ft)	Drain Area (sq ft)	Relational	C x A	Tc	Intensity	Total Q	Capacity	Velocity	Size (in)	Slope (%)	Invert Elev	HGL Elev	Surface Elev
L-1	254.20	0.18	20.03	0.95	0.17	18.08	10.0	15.35	4.54	85.71	101.47	7.11	48	0.50
L-2	235.57	1.17	19.85	0.91	1.49	18.70	10.0	14.79	4.62	86.34	100.59	7.01	48	0.49
L-3	204.02	3.07	10.32	0.90	2.76	9.85	10.0	14.08	4.71	85.10	71.14	4.73	42	0.50
L-4	184.59	5.96	4.10	0.85	0.63	4.28	10.0	12.12	4.82	21.63	71.06	2.30	42	0.50
L-5	182.59	0.10	2.20	0.86	0.08	2.18	10.0	11.40	5.14	11.18	28.96	2.30	30	0.50
L-6	155.38	1.36	1.36	0.86	1.25	1.79	10.0	10.10	5.29	6.97	19.99	3.24	24	0.50
L-7	119.00	0.89	1.65	0.95	0.85	1.57	10.0	11.57	5.11	8.01	16.07	2.55	24	0.50
L-8	56.05	0.03	0.41	0.95	0.03	0.39	10.0	11.07	5.19	3.02	4.57	1.65	15	0.50
L-9	102.00	0.38	0.38	0.95	0.36	0.36	10.0	10.00	5.39	1.95	4.57	1.00	15	0.50
L-10	55.50	6.35	0.35	0.95	0.33	0.33	10.0	10.00	5.39	1.79	4.59	1.46	15	0.50
L-11	275.00	2.75	2.75	0.95	2.61	2.61	10.0	10.00	5.39	14.09	16.02	4.49	24	0.50
L-12	230.50	7.30	0.50	0.95	2.38	2.38	10.0	10.00	5.39	11.51	15.98	4.08	24	0.50
L-13	196.50	4.45	5.48	0.95	4.23	5.18	10.0	11.87	5.04	26.15	28.96	5.33	30	0.50
L-14	345.50	1.01	1.01	0.95	0.96	0.96	10.0	10.00	5.39	5.17	7.43	2.93	18	0.50
L-15	67.00	0.85	2.77	0.95	0.81	2.16	10.0	11.82	5.07	10.92	27.56	9.83	18	0.50
L-16	217.00	0.82	1.42	0.85	3.78	1.36	10.0	10.10	6.22	7.04	7.43	3.99	18	0.50
L-17	136.00	0.80	0.80	0.85	0.97	0.87	10.0	10.00	5.39	3.07	4.57	2.51	15	0.50

STORM MANHOLES CONNECTED TO A STORM WATER VAULT, PURPOSE OF THIS VAULT IS UNKNOWN. UNABLE TO SEE PIPE INLETS OR OUTLETS.

DROP BOX INLET  
RIM ELEV: 544.75  
INV. ELEV: 539.40

DROP BOX & CURB INLET  
RIM ELEV: 545.26  
INV. ELEV: 541.10

STORM MANHOLE  
RIM ELEV: 546.94  
INV. ELEV: 538.34

STORM MANHOLE  
RIM ELEV: 546.89  
INV. ELEV: 538.82

BOX INLET  
EV: 541.95  
EV: 538.94

FUTURE STORAGE  
BUILDING  
FFE: 550.25

BENCHMARK DATA:  
BENCHMARK 1  
1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "J. ARNOLD PLS 2934" LOCATED IN THE NORTH WEST CORNER OF THE SUBJECT PROPERTY APPROX. 78.30' FROM EX. STORM MANHOLE ELEV: 550.65  
BENCHMARK 2  
3" KYTC ALUMINUM CAP MONUMENT STAMPED W/ OUTLINE OF KENTUCKY LOCATED IN THE SOUTH EAST CORNER OF THE SUBJECT PROPERTY APPROX. 4.76' FROM EX. FENCE CORNER ELEV: 551.42









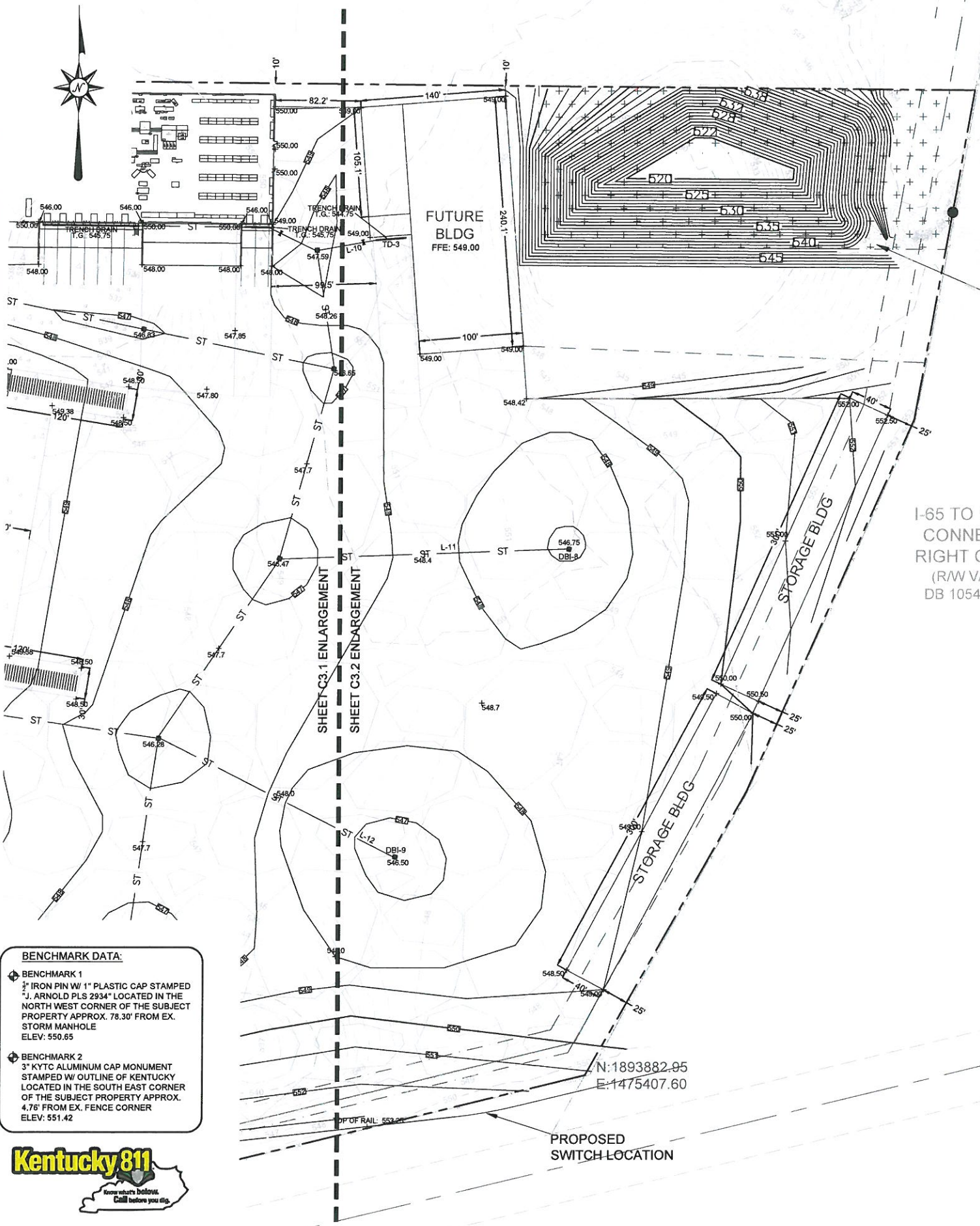
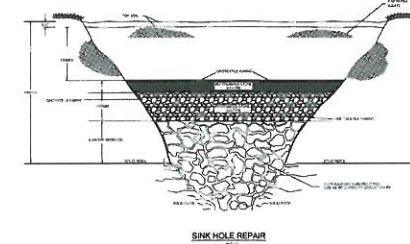


Line ID	Length (ft)	Drain Area (ac)		Relational (ft)	C x A		Tc (min)	Inlet (in)	Outlet (in)	Intensity (in/hr)	Total Q (cfs)	Capacity (cfs)	Velocity (ft/s)	Line Slope (%)	Invert Elev (ft)		HGL Elev (ft)		Surface Elev (ft)	
		Incr	Total		Incr	Total									On	Up	On	Up	On	Up
L-1	254.26	0.38	20.03	0.95	0.17	18.68	11.0	15.35	4.54	65.71	101.47	7.11	48	0.90	537.25	538.02	541.25	541.99	542.00	548.90
L-2	735.57	1.07	19.80	0.95	1.19	18.70	10.0	14.78	4.02	68.34	100.59	7.01	48	0.45	538.54	539.70	543.03	543.77	548.90	548.90
L-3	204.00	3.07	10.32	0.90	2.78	8.85	10.0	14.09	4.71	45.19	71.14	4.75	42	0.30	539.70	540.72	544.12	544.54	548.90	548.90
L-4	154.10	0.96	4.50	0.95	0.53	4.28	10.0	12.72	4.92	21.65	71.05	2.30	42	0.30	540.72	541.04	544.92	545.03	548.90	548.90
L-5	182.50	0.93	2.29	0.95	0.88	2.18	10.0	11.40	5.14	11.18	28.96	2.38	30	0.30	541.04	542.55	545.45	545.59	548.90	548.90
L-6	185.96	1.36	1.96	0.95	1.29	1.29	10.0	10.00	5.79	6.91	15.99	1.24	24	0.30	542.55	543.45	545.73	545.79	548.90	548.90
L-7	111.00	0.89	1.60	0.95	0.85	1.57	10.0	11.57	5.11	8.01	16.07	2.55	24	0.30	543.45	543.70	545.63	545.67	548.90	548.90
L-8	50.00	0.03	0.41	0.95	0.33	0.39	10.0	11.07	5.19	2.02	4.57	1.63	15	0.30	543.70	543.85	545.68	545.73	548.90	548.90
L-9	102.00	0.38	0.38	0.95	0.38	0.38	10.0	10.00	5.39	1.95	4.57	1.59	15	0.30	543.85	543.96	545.68	545.73	548.90	548.90
L-10	58.50	0.35	0.35	0.95	0.33	0.33	10.0	10.00	5.39	1.78	4.49	1.48	15	0.30	543.96	543.96	545.68	545.73	548.90	548.90
L-11	275.00	2.75	2.75	0.95	2.61	2.61	10.0	10.00	5.39	14.09	16.02	4.49	24	0.30	543.96	543.96	545.68	545.73	548.90	548.90
L-12	250.00	2.50	2.50	0.95	2.38	2.38	10.0	10.00	5.39	12.41	15.98	4.08	24	0.30	543.96	543.96	545.68	545.73	548.90	548.90
L-13	196.50	4.45	5.48	0.95	4.23	4.19	10.0	11.97	5.04	26.15	28.96	5.32	30	0.30	543.96	543.96	545.68	545.73	548.90	548.90
L-14	345.50	1.01	1.01	0.95	0.98	0.98	10.0	10.00	5.39	5.17	7.43	3.92	18	0.30	543.96	543.96	545.68	545.73	548.90	548.90
L-15	67.00	0.85	2.27	0.95	0.81	2.18	10.0	11.82	5.07	10.92	27.50	3.92	18	0.30	543.96	543.96	545.68	545.73	548.90	548.90
L-16	217.00	0.82	1.42	0.95	0.78	1.35	10.0	10.00	5.39	7.04	7.43	3.96	18	0.30	543.96	543.96	545.68	545.73	548.90	548.90
L-17	138.00	0.80	0.80	0.95	0.87	0.87	10.0	10.00	5.39	3.97	4.87	2.51	15	0.30	543.96	543.96	545.68	545.73	548.90	548.90

- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY BUD AT 1-800-752-6007 48 HOURS PRIOR TO EXCAVATION.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
- SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
- FILL, INCLUDING FINAL TOPSOIL SHALL BE PLACED A MINIMUM OF 3 INCHES BELOW FFE AT BUILDING SLABS UNLESS OTHERWISE INDICATED BY ARCHITECTURAL WALL SECTION DETAILS.
- GRADES WITHIN 10' OF BUILDING SHALL HAVE A MINIMUM SLOPE OF 2% AWAY FROM THE BUILDING.
- ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
- ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS (PROPOSED AND FUTURE EXPANSION) AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
- STONE BASES SHOULD BE COMPACTED TO A DENSITY SATISFACTORY TO ENGINEER, TYPICALLY 84% OF SOLID VOLUME OR BY TEST STRIP METHODS.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE.
- GRADE LINES SHOWN ARE FINISHED GRADE. CONTRACTOR SHOULD SEE DETAIL SHEET FOR APPROPRIATE PAVEMENT TYPE TO DETERMINE SUB-GRADE ELEVATIONS FOR PAVING AREAS.
- CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:  
A) NO WATER WILL POND AT POINTS WHERE LANDSCAPE ISLANDS EXTEND INTO PARKING FIELDS.  
B) SPACES DESIGNATED FOR HANDICAP PARKING AND ACCESS AISLE SHALL HAVE A FINAL SLOPE AFTER PAVING IS COMPLETED OF NOT MORE THAN 2.0%. IF EITHER OF THESE ITEMS ARE NOT CONSTRUCTED AS OUTLINED ABOVE, REWORK WILL BE PROVIDED BY THE CONTRACTOR TO CORRECT DEFICIENCIES AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL VERIFY POSITIVE FLOW FOR ALL STORM SEWER SYSTEMS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG GUTTER LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.
- ALL SINKHOLES ARE TO BE EVALUATED BY A THIRD PARTY CONTRACTOR OF THE BOWLING GREEN ECONOMIC DEVELOPMENT AUTHORITY AND REMEDIATION PRICING WILL BE BASED ON THEIR RECOMMENDATION. SEE TYPICAL SINKHOLE REPAIR DETAIL ON THIS SHEET.

#### CONSTRUCTION LEGEND

-  DBI DROP BOX INLET N.T.S.
-  HW SLOPED AND FLARED HEADWALL N.T.S.
-  CF CONCRETE FLUME N.T.S.
-  CC CURB CUT N.T.S.
-  RCD ROCK CHECK DAM N.T.S.
-  TD TRENCH DRAIN N.T.S.



**BENCHMARK DATA:**

➤ BENCHMARK 1  
3" IRON PIN W/ 1" PLASTIC CAP STAMPED "J. ARNOLD PLS 2934" LOCATED IN THE NORTH WEST CORNER OF THE SUBJECT PROPERTY APPROX. 78.30' FROM EX. STORM MANHOLE ELEV: 550.65

➤ BENCHMARK 2  
3" KYTC ALUMINUM CAP MONUMENT STAMPED W/ OUTLINE OF KENTUCKY LOCATED IN THE SOUTH EAST CORNER OF THE SUBJECT PROPERTY APPROX. 4.78' FROM EX. FENCE CORNER ELEV: 551.42



**CARTER LUMBER**  
106 COSMA DRIVE  
BOWLING GREEN, KY 42101

**ACES**  
ARNOLD CONSULTING  
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BOWLING GREEN, KY 42101  
PHONE (270) 780-9445

JOB NUMBER: 17-3159-L  
DATE: 03/06/2018  
SCALE: 1" = 60'  
DRAWN: B. McDANIEL  
CHECKED: A. ARNOLD  
FILE PATH:  
Z:\SITEDEV\C3.2-Site Grading & Drain...



**C3.2**  
SITE GRADING & DRAINAGE



NOTE: SEE SHEETS L1.1, L1.2, & L1.3 FOR PLANT IDENTIFICATION.

2018-04-01 Page 14 of 23 REVISIONS

TYPICAL PLANTING DETAIL- TREES  
NOT TO SCALE



THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY.

NOTE: SEE SHEET L1.0 FOR OVERALL LANDSCAPING & OVERALL PLANT SCHEDULE.

PLANT SCHEDULE - SHOWN ON SHEET L1.1 ONLY

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
TREES						
AR	6	ACER RUBRUM 'RED SUNSET'	RED MAPLE	1 3/4" CAL.	B&B	WELL BRANCHED
CK	2	CORNUS KOUSA	KOUSA DOGWOOD	5'-6" HT.	B&B	WELL BRANCHED
PS	10	PINUS STROBUS	EASTERN WHITE PINE	5'-6" HT.	B&B	WELL BRANCHED
QP	8	QUERCUS PHELLOS	WILLOW OAK	1 3/4" CAL.	B&B	WELL BRANCHED
TC	4	TILIA CORDATA 'GREENSPIRE'	LITTLELEAF LINDEN	1 3/4" CAL.	B&B	WELL BRANCHED
SHRUBS						
EA	16	EUONYMUS ALATUS 'COMPACTUS'	WINGED EUONYMUS	24" HT.	B&B	WELL BRANCHED
IC	16	ILEX CRENATA 'HELLER'	BOX-LEAVED HOLLY	24" HT.	B&B	WELL BRANCHED
PL	16	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	CHERRYLAUREL	24" HT.	B&B	WELL BRANCHED

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BOWLING GREEN, KY 42101  
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JOB NUMBER: 17-3159-L  
DATE: 03/06/2018  
SCALE: 1" = 60'  
DRAWN: K. CARDWELL  
CHECKED: B. SHIRLEY  
FILE PATH:  
Z:\SITEDEV\L1.1-LANDSCAPE ENLAR...



L1.1  
LANDSCAPE  
ENLARGEMENT

SHEET L1.1 ENLARGEMENT  
SHEET L1.2 ENLARGEMENT



LOT 17  
WARREN RURAL ELECTRIC  
COOPERATIVE CORPORATION  
DB 896 PG 859  
KENTUCKY TRIMODAL TRANSPARK  
SUBDIVISION  
PB 36 PG 167-169

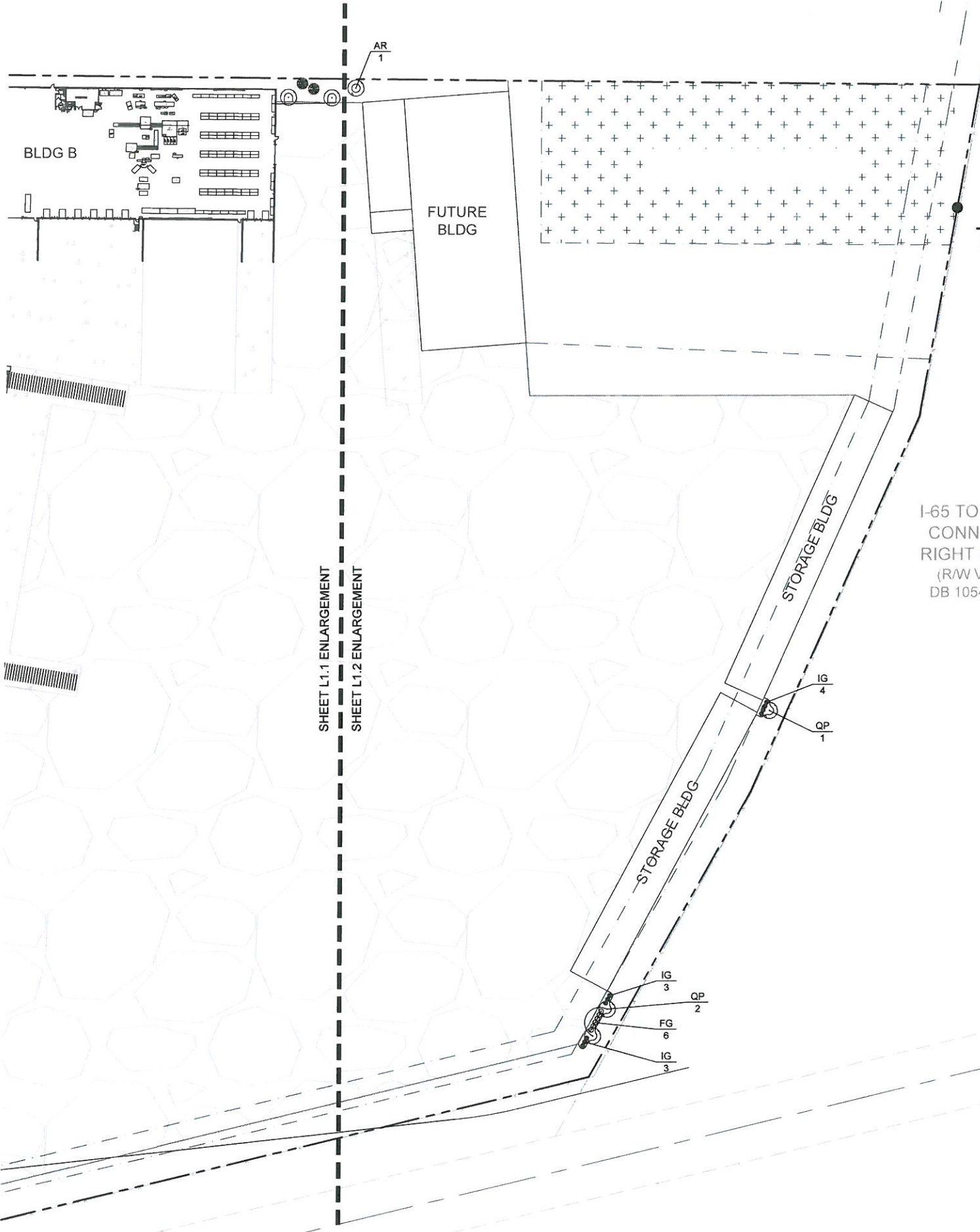
SEE SHEET L1.3 FOR PLANT IDENTIFICATION

CEMETERY

BLDG B

FUTURE STORAGE  
BUILDING





THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY.

NOTE: SEE SHEET L1.0 FOR OVERALL LANDSCAPING & OVERALL PLANT SCHEDULE.

PLANT SCHEDULE - SHOWN ON SHEET L1.2 ONLY

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
TREES						
AR	1	ACER RUBRUM 'RED SUNSET'	RED MAPLE	1 3/4" CAL.	B&B	WELL BRANCHED
QP	3	QUERCUS PHELLOS	WILLOW OAK	1 3/4" CAL.	B&B	WELL BRANCHED
SHRUBS						
FG	6	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24" HT.	B&B	WELL BRANCHED
IG	10	ILEX GLABRA	INKBERRY	24" HT.	B&B	WELL BRANCHED

I-65 TO US 31W  
CONNECTOR  
RIGHT OF WAY  
(R/W VARIES)  
DB 1054 PG 536



CARTER LUMBER  
160 COSMA DRIVE  
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JOB NUMBER: 17-3159-L  
DATE: 03/09/2018  
SCALE: 1" = 60'  
DRAWN: K. CARDWELL  
CHECKED: B. SHIRLEY  
FILE PATH:  
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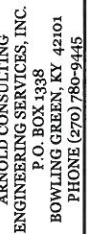


L1.2  
LANDSCAPE  
ENLARGEMENT





NOTE: SEE SHEET L1.0 FOR OVERALL LANDSCAPING & OVERALL PLANT SCHEDULE.



DATE: 03/06/2018

SCALE: 1" = 20'

DRAWN: K. CARDWELL

CHECKED: B. SHIRLEY

CHECKED: B. SHIRLEY

FILE PATH:



KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>TREES</b>						
AL	3	AMELANCHIER LAEVIS 'PRINCE CHARLES'	ALLEGHENY SERVICEBERRY	5-6 HT.	B&B	WELL BRANCHED
AR	2	ACER RUBRUM 'RED SUNSET'	RED MAPLE	1 3/4' CAL.	B&B	WELL BRANCHED
CC	4	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	5-6 HT.	B&B	WELL BRANCHED
QP	5	QUERCUS PHELOS	WILLOW OAK	1 3/4' CAL.	B&B	WELL BRANCHED
ZS	18	ZELKOVA SERRATA 'VILLAGE GREEN'	JAPANESE ZELKOVA	1 3/4' CAL.	B&B	WELL BRANCHED
<b>SHRUBS</b>						
BM	33	BUXUS MICROPHYLLA 'WINTERGREEN'	LITTLE-LEAF BOXWOOD	24" HT.	B&B	WELL BRANCHED
FG	24	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24" HT.	B&B	WELL BRANCHED
FJ	8	FOTHERGILLA GARDENII 'JANE PLATT'	DWARF FOTHERGILLA	24" HT.	B&B	WELL BRANCHED
IC	37	ILEX CRENATA 'HELLER'	CO-LEAVED HOLLY	24" HT.	B&B	WELL BRANCHED
IG	39	ILEX GLABRA	INKBERRY	24" HT.	B&B	WELL BRANCHED
IV	28	ILEX VERTICILLATA 'RED SPRITE'	COMMON WINTERBERRY	24" HT.	B&B	WELL BRANCHED
<b>ORNAMENTAL GRASSES</b>						
CA	38	CALAMAGROSIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS		3 GAL. CLUMP	
CD	15	CAREX DOUICHOSTACHYA 'KAGA NISHIKI'	GOLD FOUNTAINS SEDGE		3 GAL. CLUMP	
CM	24	CAREX MORROWII 'ICE DANCE'	JAPANESE SEDGE		3 GAL. CLUMP	
HM	22	HAKONECHLOA MACRA 'AUREOLA'	GOLDEN JAPANESE FOREST GRASS		3 GAL. CLUMP	
SH	12	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSIDE		3 GAL. CLUMP	

TOTAL VUA:	37,531 SF
REQUIRED ILA:	7,507 SF (20%)
PROVIDED ILA:	7,544 SF (20.1%)

0' 20' 40' 60'



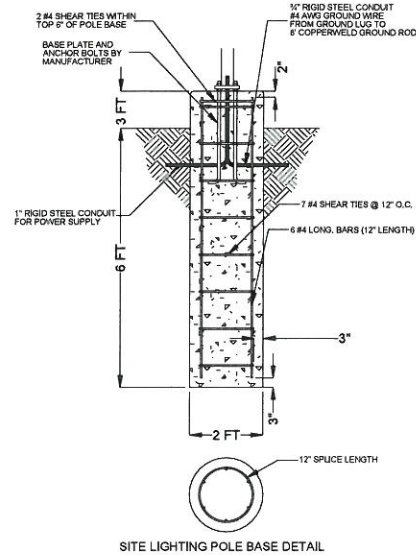
GRAPHIC SCALE: 1" = 20'

LANDSCAPE  
ENLARGEMENT



GENERAL NOTES

- NOTES:
1. READINGS SHOWN ARE IN UNITS OF MAINTAIN FOOTCANDLES.
  2. LITHONIA LIGHTING FIXTURES USED IN MODEL (SEE SCHEDULE THIS SHEET & MECHANICAL PLANS FOR FURTHER DETAILS).
  3. FIXTURES SHALL MATCH AS NOTED OR EQUIVALENT PER OWNER.
  4. A MOUNTING HEIGHT: 25'
  5. B MOUNTING HEIGHT: 25'
  6. ALL FIXTURES AND POLES TO BE DARK BRONZE.
  7. READINGS TAKEN AT GRADE
  8. SEE MECHANICAL/ELECTRICAL PLANS FOR EXACT LOCATION OF BUILDING MOUNTED FIXTURES AND WALL PACKS
  9. FIXTURE SPACING AS SHOWN
  10. L.L.F. CALCULATED AT 0.72
  11. THE CONTRACTOR SHALL VERIFY TOTAL LINEAR FEET OF CONDUIT AND WIRE GAUGE SIZE IS ADEQUATE.
  12. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH MECHANICAL ENGINEER TO ENSURE ELECTRICAL PANEL LOADING REQUIREMENTS ARE MET AND NOT EXCEEDED.
  13. CONTRACTOR SHALL COORDINATE WITH MECHANICAL PLANS FOR CONNECTION TO ELECTRICAL SERVICE PANEL.
  14. CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS MEET LOCAL BUILDING CODES AND LOADING REQUIREMENTS.
  15. ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL, AND SITE LIGHTING PLANS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR REVIEW.



CARTER LUMBER  
106 COSMA DRIVE  
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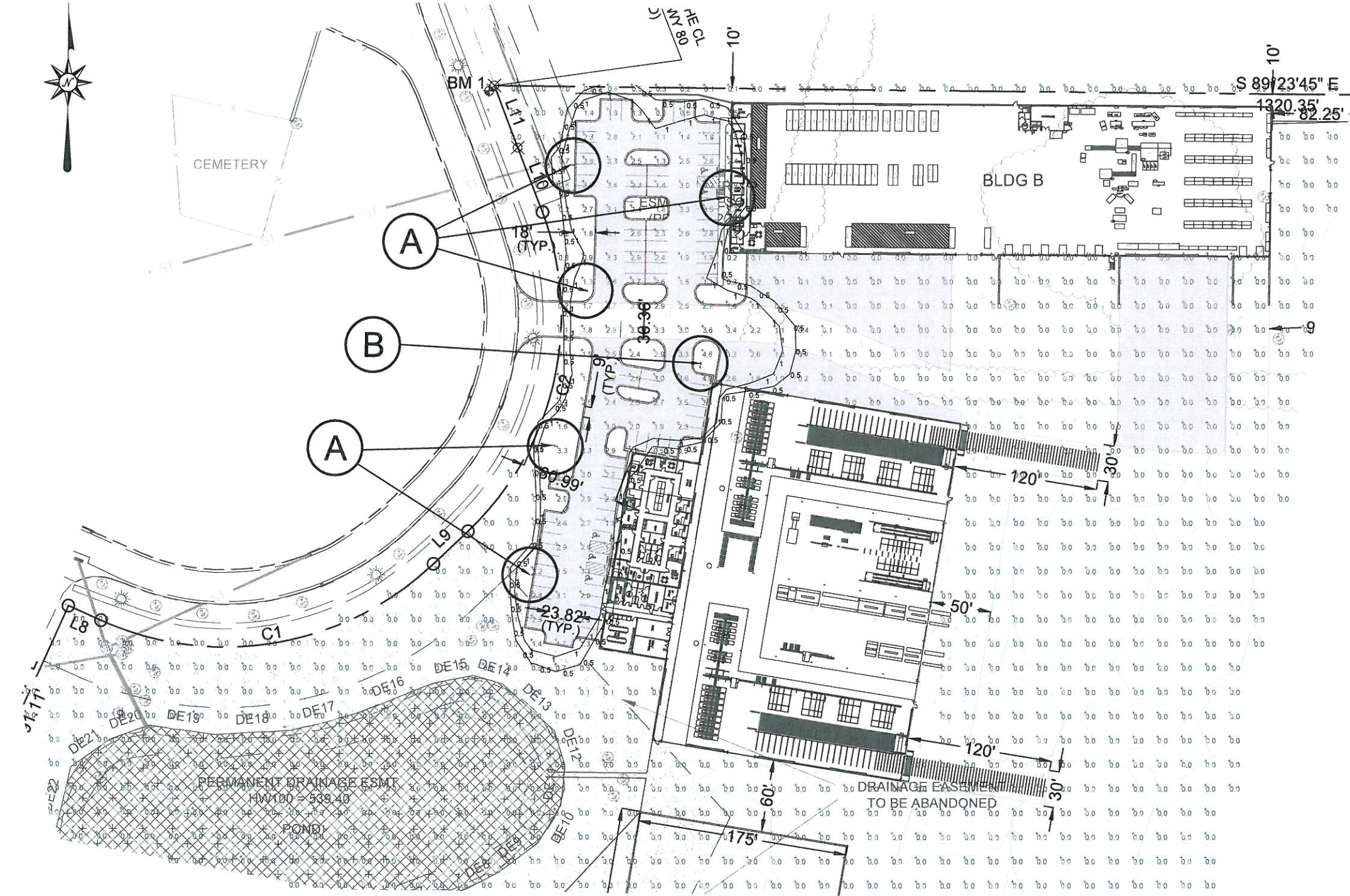
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DATE: 03/06/2018  
SCALE: 1" = 50'  
DRAWN: C. WICKER  
CHECKED: A. ARNOLD  
FILE PATH:  
Z:\SITE\DEVS\SL1-SITE LIGHTING PLAN



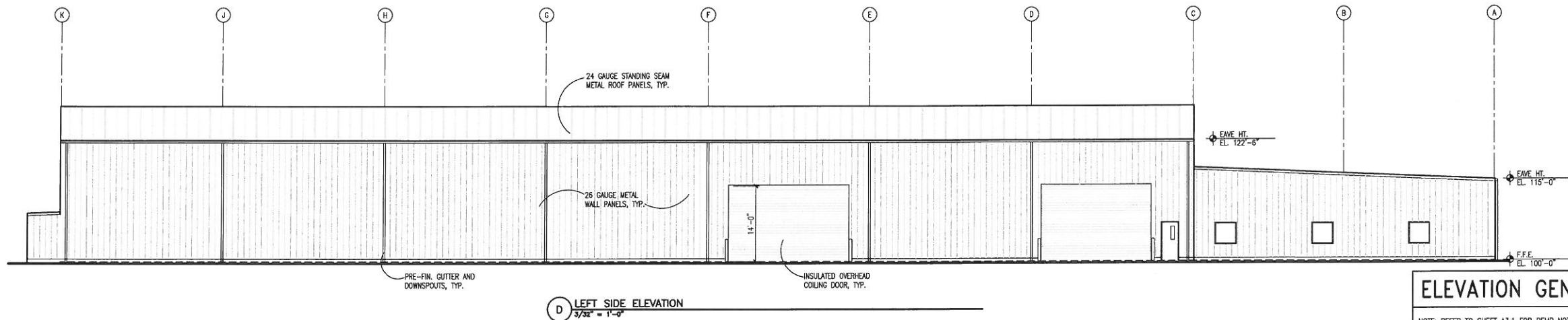
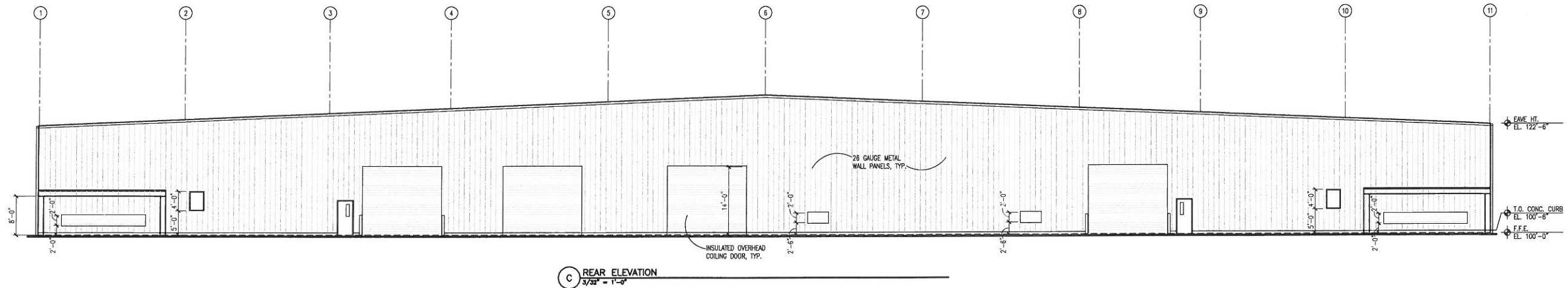
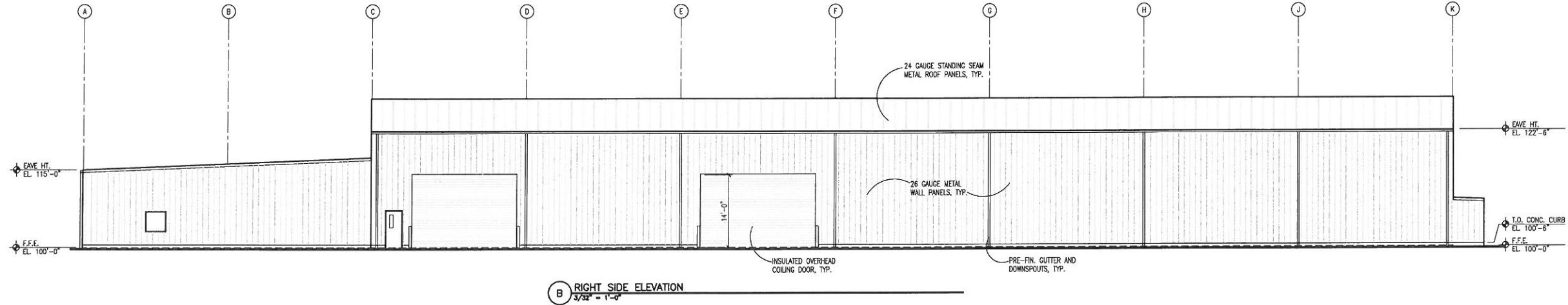
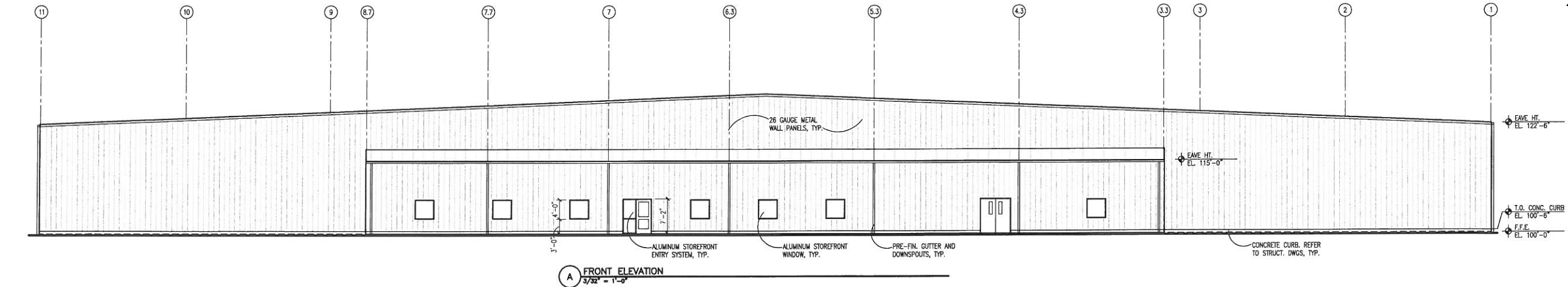
SL1  
SITE LIGHTING  
PLAN

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Wattage
	A	5	Lithonia Lighting	CSX2 LED 120C 1000 40K TSM HS	CONTOUR SERIES LED AREA LUMINAIRE WITH 120 4000K LEDS OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE V LENS WITH HOUSE SIDE SHIELD	LED	1	CSX2_LED_120C_1000_40K_TSM_HS.lvs	416
	B	1	Lithonia Lighting	CSX2 LED 120C 1000 40K TSM HS	CONTOUR SERIES LED AREA LUMINAIRE WITH 120 4000K LEDS OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE V LENS WITH HOUSE SIDE SHIELD	LED	1	CSX2_LED_120C_1000_40K_TSM_HS.lvs	632

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #1	+	0.2 fc	4.9 fc	0.0 fc	N/A	N/A	







**ELEVATION GENERAL NOTES**

NOTE: REFER TO SHEET A3.1 FOR PEMB NOTES AND GENERAL NOTES, TYP.

REVISIONS	
NO.	DESCRIPTION

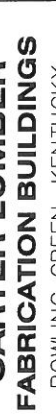
SCOTT, MURPHY & DANIEL, LLC.



SEWELL AND SEWELL ARCHITECTS



CARTER LUMBER FABRICATION BUILDINGS



PROJECT NUMBER:	1803
DATE:	2-12-18
SCALE:	AS NOTED
DRAWN BY:	7/2/23
TRUSS FABRICATION BLDG ELEVATIONS	

PRICING DOCUMENT

SHEET:

A3.0

P.E.M.B. NOTES

1. CONTRACTOR SHALL COORDINATE ALL WORK REGARDING THE DESIGN OF THE PEMB ITEMS NOT SHOWN ON A DESIGN BUILD BASIS. ALL WORK SHALL BE DESIGNED, SUBMITTED AND APPROVED PER ALL LOCAL AND STATE CODES AND GUIDELINES.
2. THE PEMB MANUFACTURER SHALL PROVIDE SHOP DRAWINGS SHOWING ALL NECESSARY STRUCTURAL COMPONENTS FOR A COMPLETE INSTALLATION.

ELEVATION GENERAL NOTES

1. BUILDING ELEVATIONS SHOWN ON THIS DRAWING ARE INTENDED FOR GENERAL REFERENCE PURPOSES ONLY. REFER TO REFERENCED SECTIONS AND DETAILS FOR MORE FULLY DESCRIBED CONDITIONS AND REQUIREMENTS.
2. MATERIAL INDICATIONS AND DESCRIPTIONS, VERTICAL AND OTHER DIMENSIONS SHOWN ON ONE BUILDING ELEVATION APPLY TO OTHER BUILDING ELEVATIONS WHERE SHOWN, UNLESS NOTED OTHERWISE.
3. ALL EXPOSED EXTERIOR METAL SUCH AS FLASHINGS, GUTTERS AND DOWNSPOUTS SHALL RECEIVE SHOP APPLIED FINISH COATING.
4. LINES REPRESENTING PAVING AND FINISH GRADE ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO SITE PLANS FOR SPECIFIC GRADE AND SPOT ELEVATIONS AT EACH RESPECTIVE LOCATION.
5. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION ON LOUVERS, MECH. UNITS, ETC. NOT SHOWN ON ARCHITECTURAL DRAWINGS.

REVISIONS

NO.	DATE	DESCRIPTION

SCOTT, MURPHY & DANIEL, LLC.

BUILDING  
CONSTRUCTION SPECIALISTS

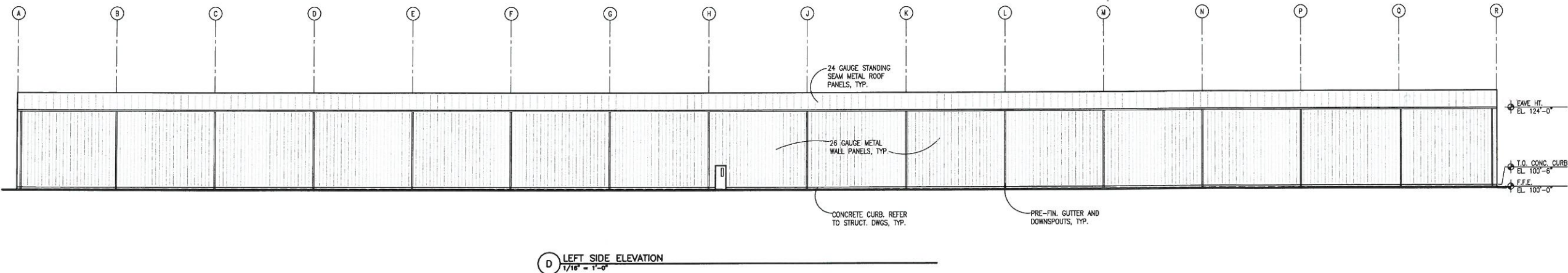
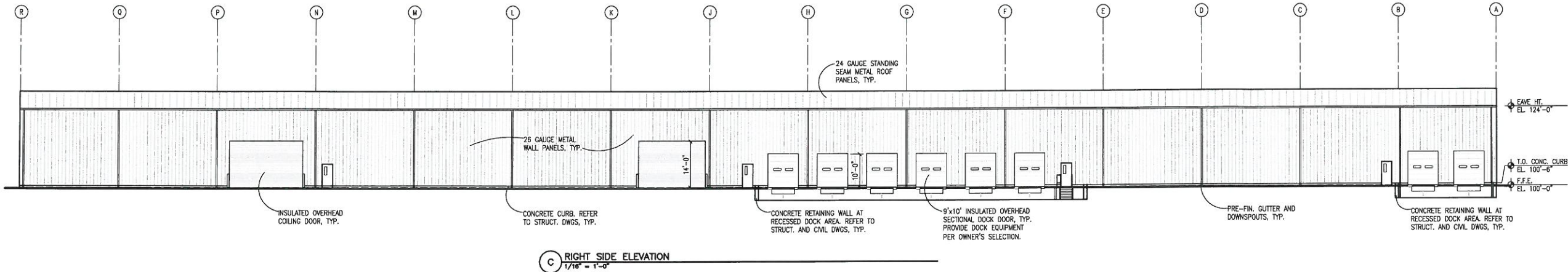
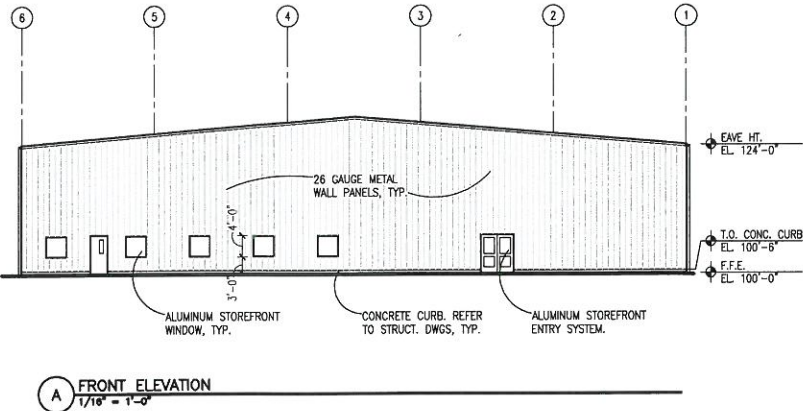
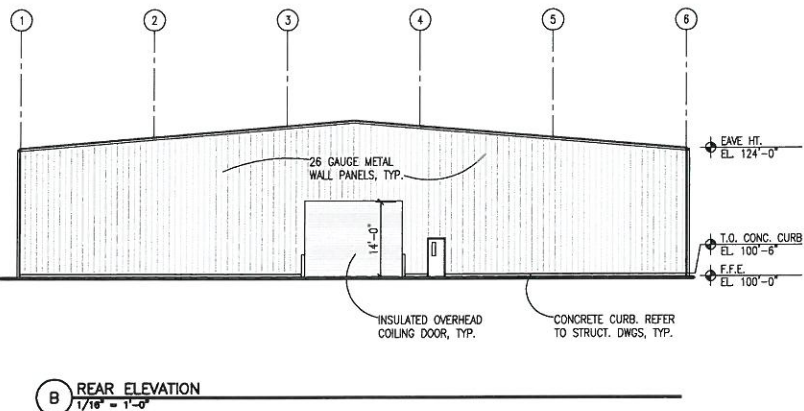
P.O. BOX 200  
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SEWELL AND SEWELL  
ARCHITECTS

996 WILKINSON TRACE, SUITE B4  
BOWLING GREEN, KY 42303  
PHONE (270) 854-2685  
WWW.SEWELLARCHITECTS.COM

CARTER LUMBER  
FABRICATION BUILDINGS  
BOWLING GREEN, KENTUCKY

THIS DOCUMENT PRESENTS SUBJECT MATTER CONSIDERED CONFIDENTIAL BY THE CONSTRUCTION FIRM OF BOWLING GREEN, KENTUCKY. IT IS THE PROPERTY OF CARTER LUMBER FABRICATION BUILDINGS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CARTER LUMBER FABRICATION BUILDINGS.



PROJECT NUMBER:  
1803

DRAWN BY:  
7/28/23

SCALE:  
AS NOTED

MILL FABRICATION  
BLDG ELEVATIONS

PRICING  
DOCUMENT

SHEET:

A3.1



